

**Specification**

**Downtakings**  
Existing non load bearing walls to be removed and finishes made good (builder to ensure that walls are non-load bearing).

**Floor**  
New floor to consist of 18mm tongued and grooved moisture resistant boarding on tanalised battens at 400mm centres with Kingspan rigid insulation between on existing concrete floor.

**New Toilets and Kitchen**  
New toilets and Kitchen to be formed as shown on plan. Partitions to be 12.5mm moisture resistant plasterboard either side of 75 x 50mm studs at 400mm centres. Toilet area walls to be tiled to client's specification. Kitchen area walls to be tiled throughout. Store cupboard to be formed in new Kitchen (former access to the Female toilet). Existing walls to be lined with 12.5mm moisture resistant plasterboard on studs at 400mm centres.

**Lintels**  
Robeslee type C 150 x 102.5mm pre-cast concrete minimum rest 150mm either end.

**Suspended Ceilings**  
Ceilings to be 12.5mm plasterboard on 75 x 50mm studs at 400mm centres.

**Drainage**  
Underground drains to be 110mm diameter UPVC (minimum gradient 1in40 taken) to existing manhole with double seal cover fitted. Kitchen drainage to have grease interceptor fitted. Existing toilet and kitchen drains to be capped off.

**Ventilation**  
Kitchen ventilation to be through new prefabricated canopy ducted through existing flat roof and be fitted with removable grease filters. Canopy over cooking area to be assessed and installed by specialist. Toilet ventilation to be taken to external air through existing flat roof by 100mm diameter UPVC duct fitted with 100mm diameter Xpelair to provide a minimum of 3 air changes per hour per toilet.

**Daylighting**  
Skylights in Kitchen to be 2 No Velux GGL 606's to be fitted on proprietary made tilting box for flat roofs. Apertures to be formed by 150 x 50mm bridles doubled up either side and be supported on joist hangers (see brochures).

**Electrics**  
All electrical work to be carried out in accordance with BS 7671: 2001 and the "Regulations for Electrical Installations," Seventeenth Edition 2007 published by the Institute of Electrical Engineers (IEE). Electrician to be a member of SELECT or NICEIC or equal approved body.

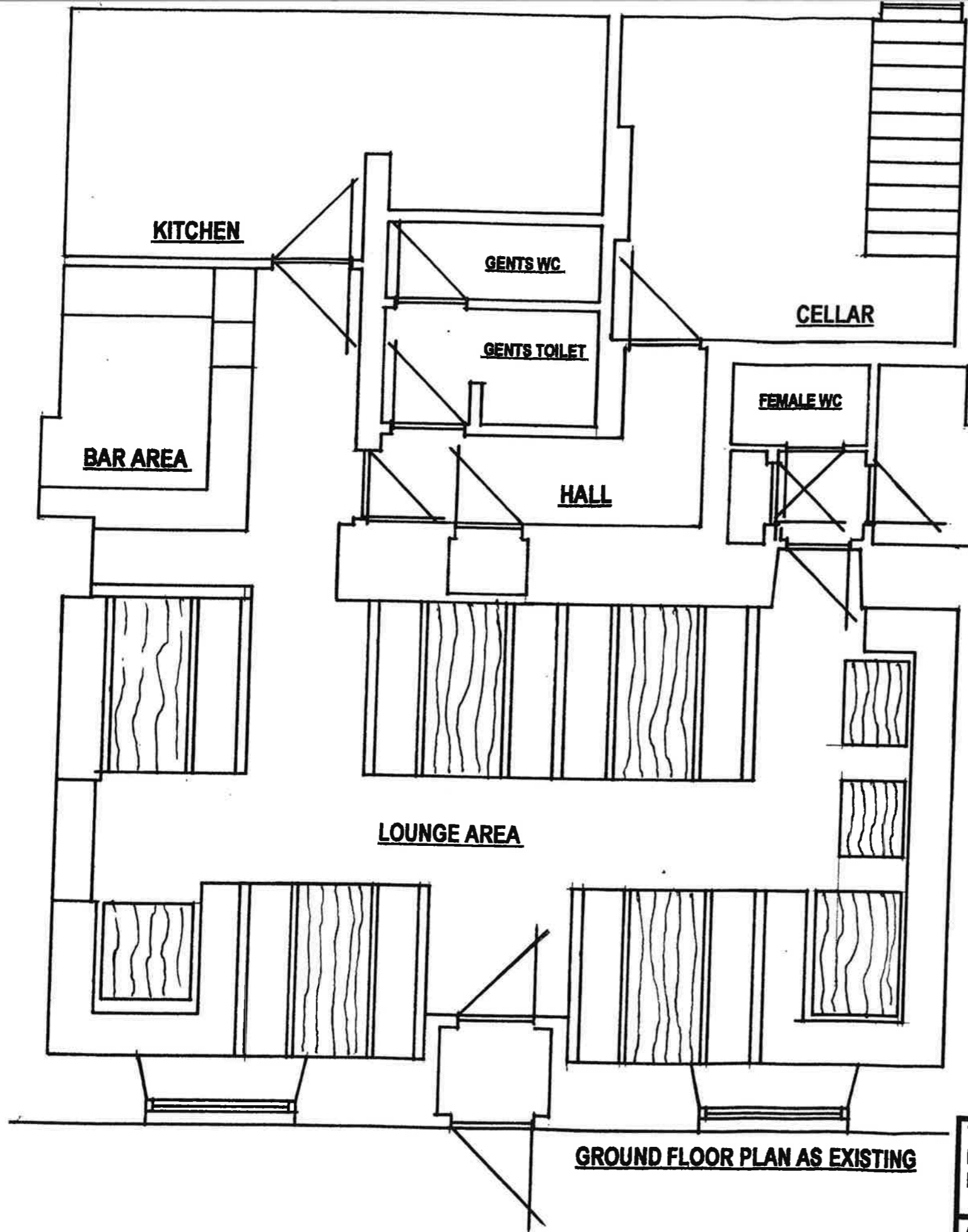
**General**  
All work to be carried out in accordance with the appropriate British Standard, Building Regulation, Technical Standard and Manufacturers Recommendations. All sizes to be checked on site prior to commencement of work on site. Builder to liaise with the Local Authority Building Standards department at all relevant stages in order to gain a Completion Certificate upon completion of contract. All finishes to be discussed and agreed between client and contractor prior to commencement of work on site.  
The Contractor will be deemed to have visited the site to assess the true nature of the work.  
All debris to be cleared from site upon completion of contract, and site to be kept as tidy as possible during contract.  
Any site anomalies to be investigated prior to commencement of work such as piled foundations, settlement, structural movement etc.  
Contractor to work in accordance with approved plans only.

<b>TITLE</b> Internal Alterations to Re-locate Kitchen and Toilets	<b>CLIENT</b> Mr. M. Beattie	<b>Revision</b> A B C D	<b>Drg No</b> 18/11/2011 1 234
<b>ADDRESS</b> Minishant Inn, 28 Main Road, Minishant.	<b>SCALE</b> Section & Plan 1:50 Block Plan 1:500 Location Plan 1:1250	<b>SIGNED</b>	
		<b>DATE</b>	

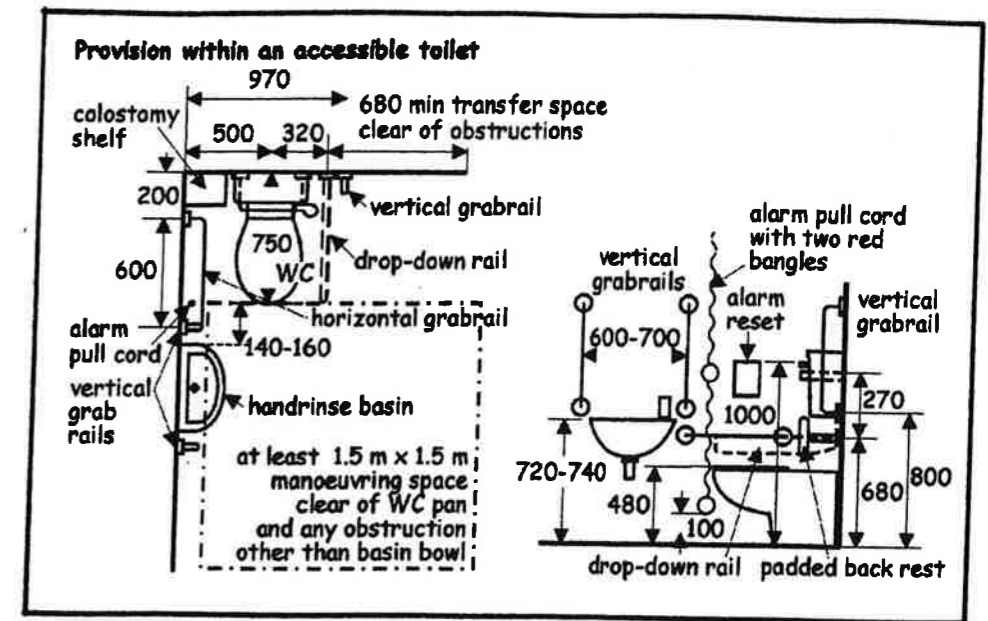
**NOTE :-**  
DW DENOTES DISH WASHER  
WHB DENOTES WASH HAND BASIN  
HATCHED AREA DENOTES VENTILATION CANOPY

**NOTE**  
EXISTING NUMBERS LIMITATION TO BE RAISED TO 50 PERSONS

**GROUND FLOOR PLAN AS PROPOSED**

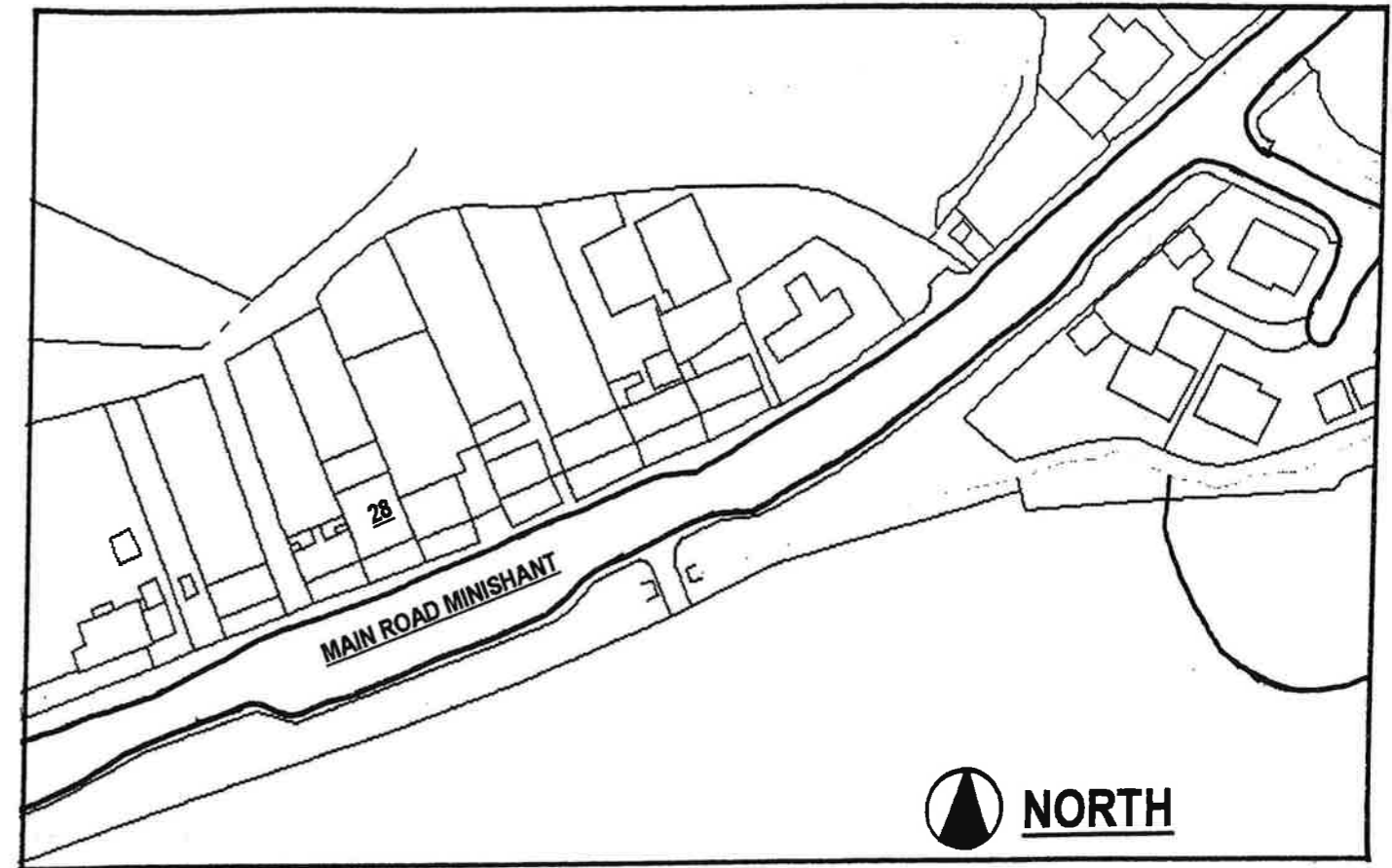


**GROUND FLOOR PLAN AS EXISTING**

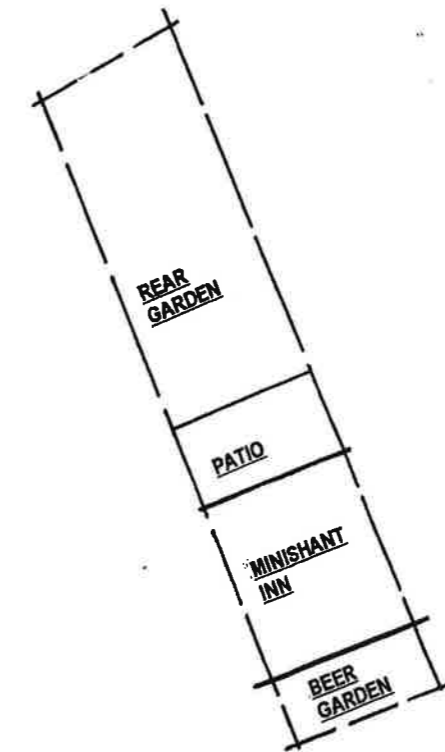


<b>TITLE</b> Internal Alterations to Re-locate Toilets and Kitchen	<b>CLIENT</b> Mr. M. Beattie	<b>Revision</b> A B C D	<b>Drg No</b> 18/11/2011 1234
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**PROPOSED INTERNAL**  
**ALTERATIONS AT**  
**MINISHANT INN,**  
**28 MAIN ROAD, MINISHANT,**  
**KA19 8EU**  
**FOR MR. BEATTIE**



**LOCATION PLAN 1:1250**



**BLOCK PLAN 1:500**